

Full Planning Application  
Proposed 2 storey extension to side elevation  
28 ENNISMORE STREET, BURNLEY

**Background:**

Amended plans have been received following discussions with the applicant.

Objections have been received *to the original proposal*.

The deadline for consultation responses on the amended plans is 16<sup>th</sup> October. Any comments received will be reported on the green sheet.

**Relevant Policies:**

Burnley Local Plan Second Review

GP1 - Development within the Urban Boundary

GP3 - Design and Quality

H13 - Extensions and conversion of existing single dwellings

TM15 - Car parking standards

**Article 31 Statement**

The application as submitted was contrary to local plan policy H13 in that the design and appearance was not acceptable. In order to meet the terms of the policy, the applicant was advised to set the extension back from the front elevation, reduce the width and centralise the windows on the front elevation. The applicant agreed to carry out amendments and an amended plan was submitted.

**Site History:**

None.

**Consultation Responses:**

*Highway Authority* – The proposal has no highway implications and the garage is to be retained (with 2 additional spaces on the drive). I would therefore raise no objection to the proposal on highway grounds.

*Neighbouring residents* – 5 letters received objecting to the *original proposal* for the following reasons;

- The extension is far too big as it comes right out to the corner on a tight bend creating a blind spot. The extension will dominate this end of the street which is effectively open plan.
- The extension is not in keeping with the surrounding area and will not blend in with the rest of the semi-detached homes in this area.
- Nos. 24, 26 and 30 Ennismore Street will be overlooked.
- It is questionable as to whether the building materials being used would keep the overall look of the surrounding houses in this area of the street.

- The occupiers of no. 26 are concerned that the height of the proposed side/rear elevation would affect the outlook when they are in the rear of the property. They say that the proposed height of the kitchen window would mean that their garden would be overlooked intruding on their privacy. They are also concerned that the extension would contribute to a claustrophobic effect when they are in the rear garden as they say they would have no view other than the extension.
- There are no traffic calming measures on this part of Ennismore Street and is used as a rabbit warren with high speeds especially at school times. Concerned that the high elevation close to the pavement will block the line of sight when approaching the tight bend.
- There is a tall tree on the other side of the boundary fence that will be in the fall line of the extension and is not included on the plans.
- The front elevation is not symmetrical, windows to one side, not aesthetic.
- Concerns with regard to road safety and restriction of view for vehicles driving round the corner.
- Will lower the value of houses in the vicinity.
- The extension would breach the building line parallel to the face of 30-32 Ennismore Street.

Any objections received to the amended proposals will be reported on the green sheet.

### **Planning and Environmental Considerations:**

The property is a semi-detached house on a corner plot in a predominantly residential area.

The proposal involves the erection of an extension to the side/rear of the property. The original proposal was for a large 2-storey extension that was in line with the front elevation of the existing house. The amended proposal involves an extension that is set back from the front elevation, reduced in width and the 2-storey part has been reduced, with a single-storey section replacing part of it. Windows on the front elevation have now been centralised. The existing single-storey section at the side of the dwelling would be demolished. A pitched roof is also proposed on the existing flat-roofed garage.

The main considerations are design/materials, privacy/outlook and parking.

#### *Design/materials*

The amended proposed extension is mainly 2-storey with a single-storey section at the rear. The extension is set back by 1m from the front elevation, with the ridge of the roof set at a lower level than the existing roof. The extension is therefore subservient to the existing semi-detached house. The extension is 5.2m approx. in width, the 2-storey part of the extension extends back from the main rear elevation by 2m and the single-storey section by another 2.35m there is a gap of 0.7m between the extension and the existing garage. The extension would be 1m further back than the front of the existing garage. A gabled roofline is proposed.

The proposed materials are red brick and blue slate to match the existing dwelling.

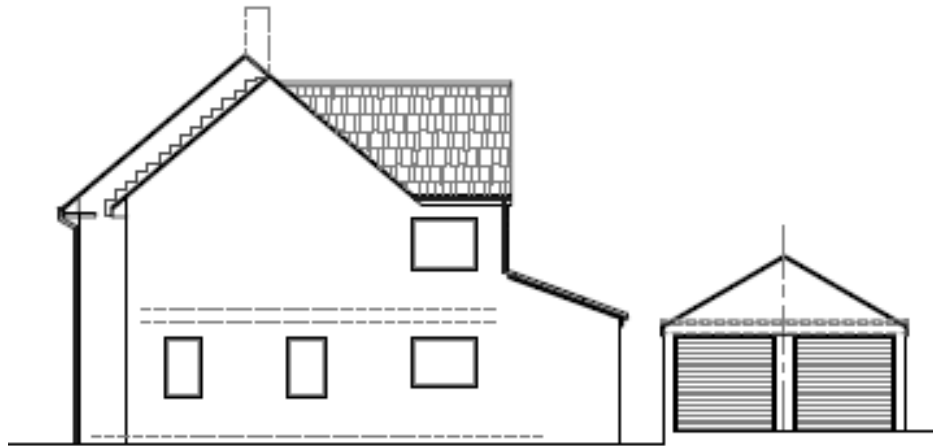


front of 28 Ennismore Street

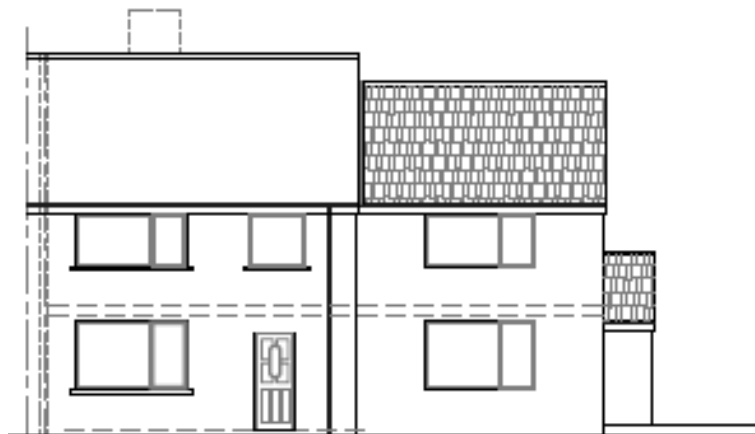


Side/rear of 28 Ennismore Street

The applicants have amended the proposals as requested; the extension has been set back from the front elevation, reduced in width, the depth of the 2-storey part of the extension has been reduced and the windows in the front elevation have been centralised. The proposals are now considered to be acceptable.



PROPOSED GABLE ELEVATION  
FACING ONTO ENNISMORE ST.



PROPOSED FRONT ELEVATION.



PROPOSED REAR ELEVATION  
INFRONT OF GARAGE.

### *Privacy/outlook*

Windows are proposed on the front elevation at ground and first floor level, however, dwellings on the opposite side of the road are 26.5m approx. away which meets the

local plan requirements in terms of privacy ( habitable windows facing each other should be 20m away).

There are windows proposed on the gable elevation at ground and 1<sup>st</sup> floor levels, again windows on the opposite side of the road are more than 21m away so this also meets the privacy standards.

On the proposed rear elevation there are no windows proposed at ground floor level (velux windows are proposed in the roof of the single-storey extension). There is a bedroom window proposed in the rear elevation which faces the gable elevation of no.30 Ennismore Street, however, there are no habitable room windows at first floor level on this gable elevation therefore privacy is not an issue in respect of this window.

On the side elevation facing into the garden a kitchen/dining room window is proposed at ground floor level with no windows at 1<sup>st</sup> floor level. This window is 6.2m away from the boundary between nos. 26 and 28 Ennismore Street, privacy and outlook will not be significantly affected for the occupiers of no 26, the 45 degree guidance rule relating to outlook is met.

Privacy and outlook are not considered to be an issue.

#### *Parking*

The double garage is to be retained and 2 parking spaces are available in front of the garage. There is therefore adequate off-street parking available and the Highway Authority have no objections to the proposal on highway grounds.

#### *Conclusion*

Following the receipt of amended plans the proposal is now considered to be acceptable and in accordance with the Local Plan policies listed above.

#### **Recommendation:**

Grant subject to the following conditions:

#### **Conditions:**

1. The development must be begun within three years of the date of this decision.
2. The development shall be carried out in accordance with the drawings listed above.

#### **Reasons:**

1. Required to be imposed by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. For the avoidance of doubt and to ensure that the development remains in accordance with the development plan.